

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input type="checkbox"/> Minor Work (staff review) – 1 copy <input checked="" type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input checked="" type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center; margin: 0;">For Office Use Only</p> Transaction # <u>493774</u> File # <u>173-16-CA</u> Fee <u>8147⁰⁰</u> Amount Paid <u>8147⁰⁰</u> Received Date <u>11/7/2016</u> Received By <u>P. Best</u>
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Property Street Address: 101 SOUTH BLOUNT STREET

Historic District: MOORE SQUARE

Historic Property/Landmark name (if applicable)

Owner's Name: MARBLES KIDS MUSEUM

Lot size	75.01' (width in feet)	70.19' (depth in feet)
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
MARBLES KIDS MUSEUM 201 E HARGETT ST, RALEIGH NC 27601-1437	NETHERWOOD PROPERTIES LLC, 112 S BLOUNT ST STE 101, RALEIGH NC 27601-1474
TRUSTEES OF EDENTON STREET UNITED METHODIST CHURCH, 228 W EDENTON ST, RALEIGH NC 27603-1714	NORTH CAROLINA STATE OF, STATE PROPERTY OFFICE, 116 W JONES ST, RALEIGH NC 27603-1300
RALEIGH CITY OF, PO BOX 590, RALEIGH NC 27602-0590	NORTH CAROLINA STATE OF, STATE PROPERTY OFFICE, 116 W JONES ST, RALEIGH NC 27603-1300
NORTH CAROLINA STATE OF, STATE PROPERTY OFFICE, 116 W JONES ST, RALEIGH NC 27603-1300	BRETSCH LLC, 214 NEW BERN PL, RALEIGH NC 27601-1416
WAKE COUNTY, WAKE COUNTY ATTORNEY'S OFFICE, PO BOX 550, RALEIGH NC 27602-0550	

13 enV

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

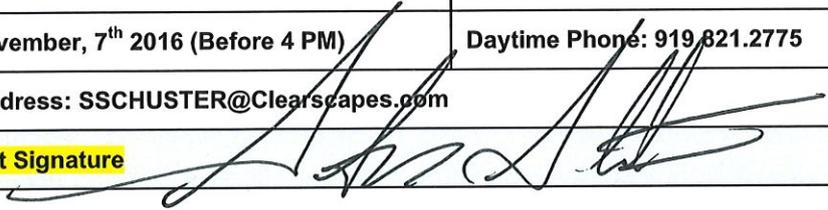
Applicant: STEVE SCHUSTER, FAIA (CLEARSCAPES)

Mailing Address: 311-200 WEST MARTIN STREET

City: RALEIGH State: NC Zip Code: 27601

Date: November, 7th 2016 (Before 4 PM) Daytime Phone: 919.821.2775

Email Address: SSCHUSTER@Clearscapes.com

Applicant Signature 

Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work _____

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
5.2	Building Demolition	<p>1 story block construction, former service station at 101 S. Blount is to be demolished due to building deterioration and in preparation for future museum expansion later. This will include removing the structure and all current surface paving in preparation for an interim public courtyard. Site includes adjacent large white oak tree, the primary reason for significant building deterioration. The removal of the building at 101 S. Blount requires the addition and expansion of screen walls in the adjacent lot to the rear. The adjacent lot contains an existing museum service court and cooling tower chiller court. We propose the installation of a wood 3" horizontal picket 6' H square cut fence to extend from an existing red brick masonry 6' H screen wall along rear property line. The fence is planned to step up to 8'H, 3" wide vertical picket fence to shield existing dumpsters and an onsite generator. Finally, an existing 12'4" H painted acoustic block wall must be extended to fill a gap along the rear of the property line.</p> <p>Interim public courtyard is to be constructed on the former site. This courtyard will include new 2x2 stained concrete to integrate with existing streetscape design before transitioning to a 2x8 stained concrete variation of the streetscape pattern. (3) stain colors (natural, 15% gray and 35% gray) This hard surface area encompasses the existing surface lot area of the site. The area currently encompassing the building will be green space with a combination of synthetic turf grass and planted areas. The green area also provides temporary opportunity to remove structures from existing tree root base.</p> <p>Due to the removal of structure at 101 S. Blount, adjacent structure at 105 S. Blount will require wall/parapet repair and infill masonry. 105 S. Blount street structure was last renovated in 1998 with the infill of a masonry wall along north and west facing facades. Additional new infill masonry to match existing type and dimension for consistency will be installed on North elevation. The full extent of repairs will be unknown until hidden wall</p>
2.4	wall expansion and new fence on adjacent property	
-	New- 2'x2' Concrete slab (stained)	
-	New- 2'x8' Concrete slab (stained)	
-	New- 16" H max concrete curb	
2.3	New- low maintenance planted area	
2.3	New- synthetic turf area	
-	New- site amenities (seating)	
3.2	Brick repair and masonry infill of adjacent structure	
	New- Mural	
	New- Right of Way Art	

		<p style="text-align: center;">elevation is fully exposed.</p> <p>Mural/Art Wall- This project includes the introduction of a new mural to be painted directly to north facing elevation of 105 S. Blount street and a portion of new/existing chiller court block wall at the rear of the site. The masonry wall to receive mural paint was installed in 1998 and is not original to the Historic building facade. The Blount street west elevation contains the only original masonry construction exposed to the exterior. Additionally, we are showing that the new mural graphics may also be painted on the new concrete courtyard. The full extent of mural graphics including color are still in development, but it is our intention to present the complete courtyard package. Final mural graphics and colors to be presented later.</p> <p>City Right of Way Art- This project also intends to use a temporary 2'x2' graphic that can be applied on the city right away, sidewalk grid as described in the attached drawings. This graphic is intended to be related to the new mural.</p>
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Minor Work Approval (office use only)

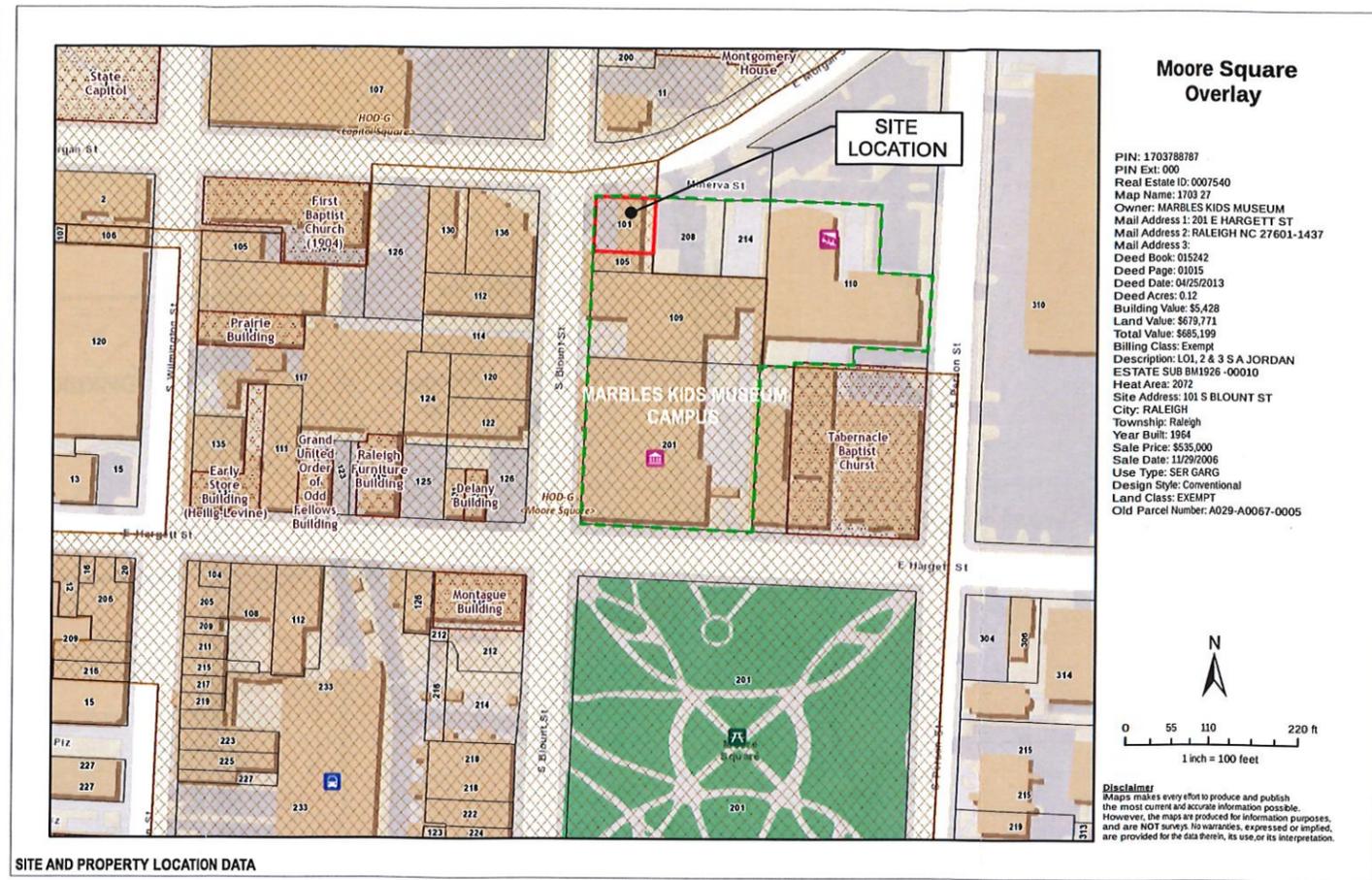
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ **Date** _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work</u> (staff review) – 1 copy <u>Major Work</u> (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. <u>Paint Schedule</u> (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. <u>Plot plan</u> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work	<input checked="" type="checkbox"/>	<input type="checkbox"/>			

<input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.					
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>				

MARBLES KIDS MUSEUM URBAN COURTYARD



COA APP DWGS
2016/11/07

CORNER COURTYARD
MARBLES KIDS MUSEUM
101 South Blount Street

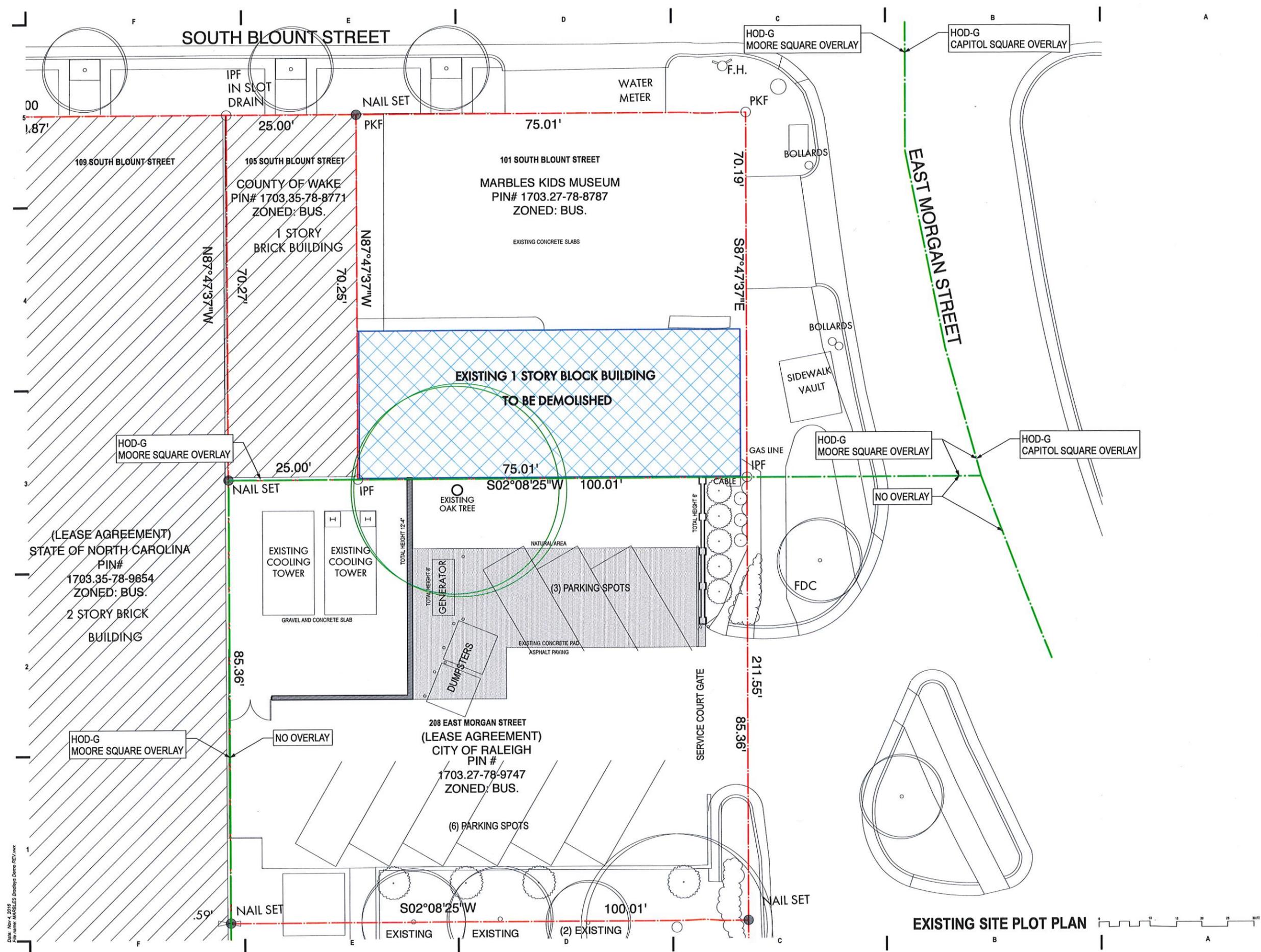
Raleigh, NC 27601

PROJECT NO. AR
DRAWN: AR
CHECKED: SDS
DATE: 20161107

COVERPAGE

COA

Date: Nov 4, 2016
File Name: MARBLES Drawings - Cover REV.rvt



Date: Nov 4, 2016
 File name: MARBLES Building Demo REV.rvt

COA APP DWGS
 2016/11/07

CORNER COURTYARD
 MARBLES KIDS MUSEUM
 101 South Blount Street

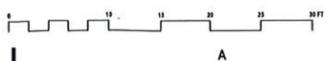
Raleigh, NC 27601

NO.	REVISION DATE

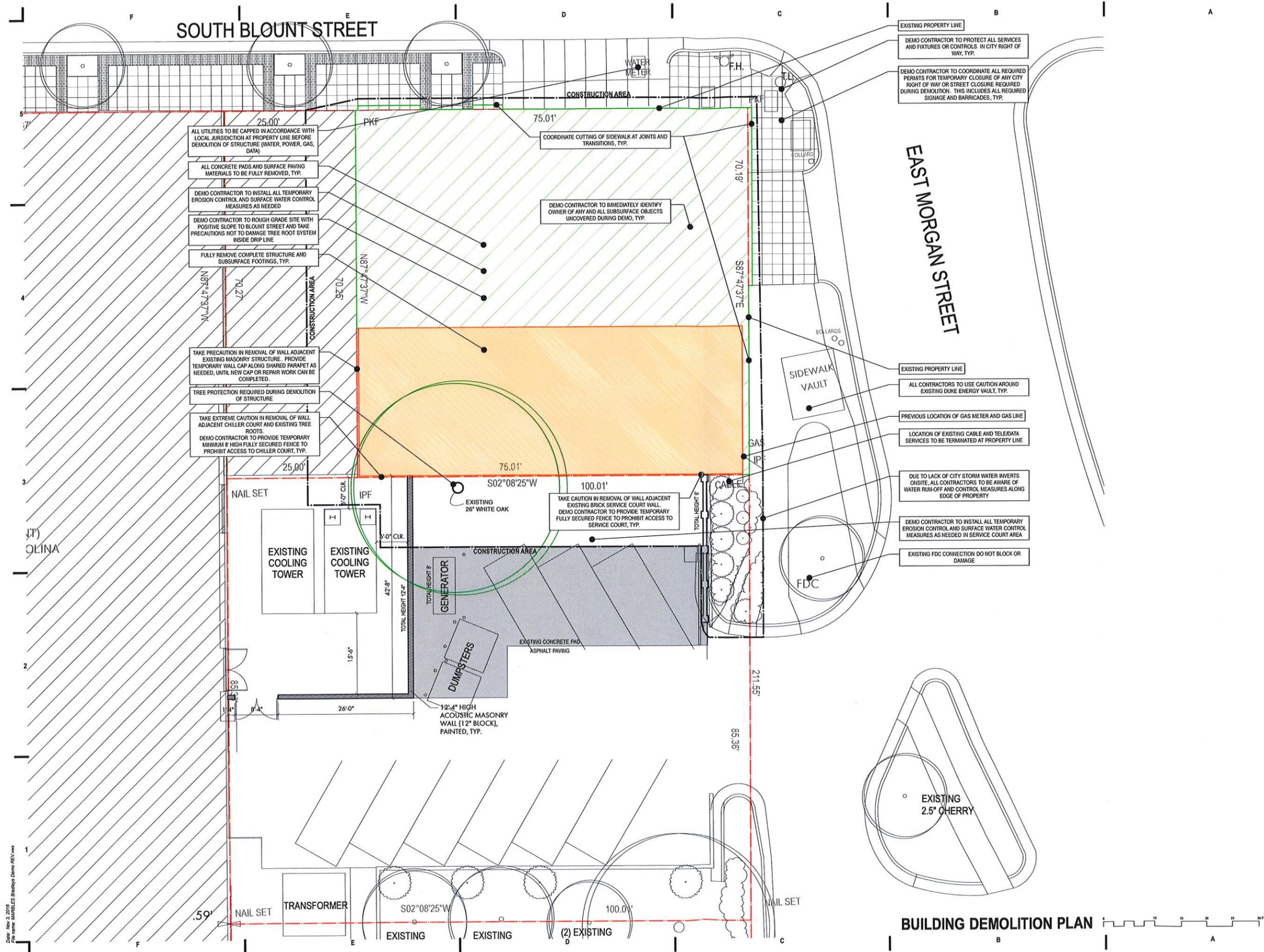
PROJECT NO: Project Number
 DRAWN: AR
 CHECKED: SDS
 DATE: 20161107

EXISTING CONDITIONS
 Site Plan

EXISTING SITE PLOT PLAN



COA 100



Date: Nov 3, 2016
File name: MARBLES Building Demo REV.vwk

COA APP DWGS
2016/11/07

CORNER COURTYARD
MARBLES KIDS MUSEUM
101 South Blount Street

Raleigh, NC 27601

PROJECT NO: Project Number
DRAWN: AR
CHECKED: SDS
DATE: 20161107

DEMO PLANS
Site Plan

COA 101

EXISTING PROPERTY LINE
DEMO CONTRACTOR TO PROTECT ALL SERVICES AND FIXTURES OR CONTROLS IN CITY RIGHT OF WAY, TYP.
DEMO CONTRACTOR TO COORDINATE ALL REQUIRED PERMITS FOR TEMPORARY CLOSURE OF ANY CITY RIGHT OF WAY OR STREET CLOSURE REQUIRED DURING DEMOLITION. THIS INCLUDES ALL REQUIRED SIGNAGE AND BARRICADES, TYP.

EXISTING PROPERTY LINE
ALL CONTRACTORS TO USE CAUTION AROUND EXISTING DUKE ENERGY VAULT, TYP.
PREVIOUS LOCATION OF GAS METER AND GAS LINE
LOCATION OF EXISTING CABLE AND TELEDATA SERVICES TO BE TERMINATED AT PROPERTY LINE
DUE TO LACK OF CITY STORM WATER INVERTS ON-SITE, ALL CONTRACTORS TO BE AWARE OF WATER RUN-OFF AND CONTROL MEASURES ALONG EDGE OF PROPERTY
DEMO CONTRACTOR TO INSTALL ALL TEMPORARY EROSION CONTROL AND SURFACE WATER CONTROL MEASURES AS NEEDED IN SERVICE COURT AREA
EXISTING FDC CONNECTION DO NOT BLOCK OR DAMAGE

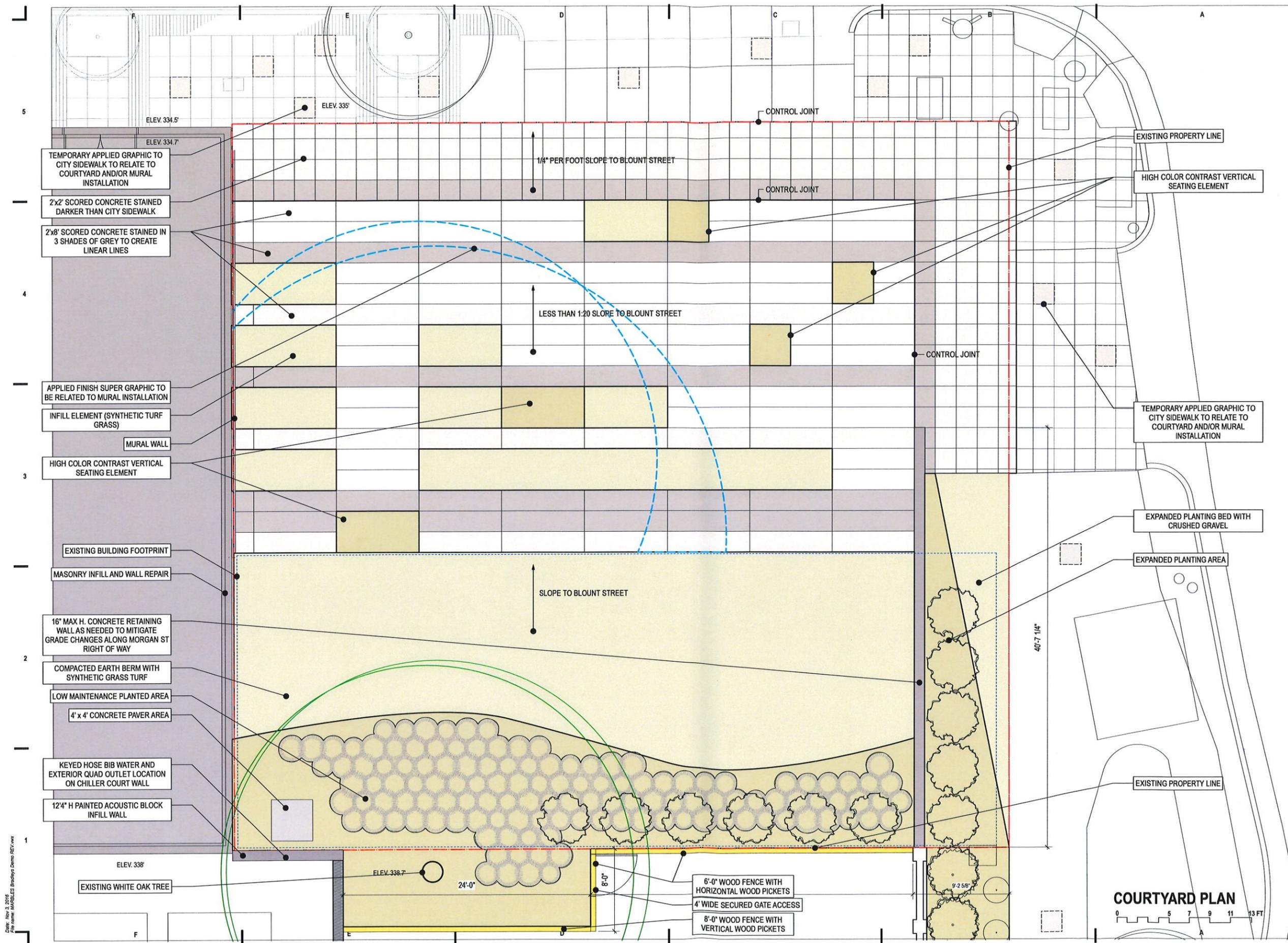
ALL UTILITIES TO BE CAPPED IN ACCORDANCE WITH LOCAL JURISDICTION AT PROPERTY LINE BEFORE DEMOLITION OF STRUCTURE (WATER, POWER, GAS, DATA)
ALL CONCRETE PADS AND SURFACE PAVING MATERIALS TO BE FULLY REMOVED, TYP.
DEMO CONTRACTOR TO INSTALL ALL TEMPORARY EROSION CONTROL AND SURFACE WATER CONTROL MEASURES AS NEEDED
DEMO CONTRACTOR TO ROUGH GRADE SITE WITH POSITIVE SLOPE TO BLOUNT STREET AND TAKE PRECAUTIONS NOT TO DAMAGE TREE ROOT SYSTEM INSIDE DRIP LINE
FULLY REMOVE COMPLETE STRUCTURE AND SUBSURFACE FOOTINGS, TYP.

TAKE PRECAUTION IN REMOVAL OF WALL ADJACENT EXISTING MASONRY STRUCTURE. PROVIDE TEMPORARY WALL CAP ALONG SHARED PARAPET AS NEEDED, UNTIL NEW CAP OR REPAIR WORK CAN BE COMPLETED.
TREE PROTECTION REQUIRED DURING DEMOLITION OF STRUCTURE
TAKE EXTREME CAUTION IN REMOVAL OF WALL ADJACENT CHILLER COURT AND EXISTING TREE ROOTS.
DEMO CONTRACTOR TO PROVIDE TEMPORARY MINIMUM 8' HIGH FULLY SECURED FENCE TO PROHIBIT ACCESS TO CHILLER COURT, TYP.

COORDINATE CUTTING OF SIDEWALK AT JOINTS AND TRANSITIONS, TYP.
DEMO CONTRACTOR TO IMMEDIATELY IDENTIFY OWNER OF ANY AND ALL SUBSURFACE OBJECTS UNCOVERED DURING DEMO, TYP.

TAKE CAUTION IN REMOVAL OF WALL ADJACENT EXISTING BRICK SERVICE COURT WALL. DEMO CONTRACTOR TO PROVIDE TEMPORARY FULLY SECURED FENCE TO PROHIBIT ACCESS TO SERVICE COURT, TYP.

BUILDING DEMOLITION PLAN



COA APP DWGS
2016/11/07

CORNER COURTYARD
MARBLES KIDS MUSEUM
101 South Blount Street

Raleigh, NC 27601

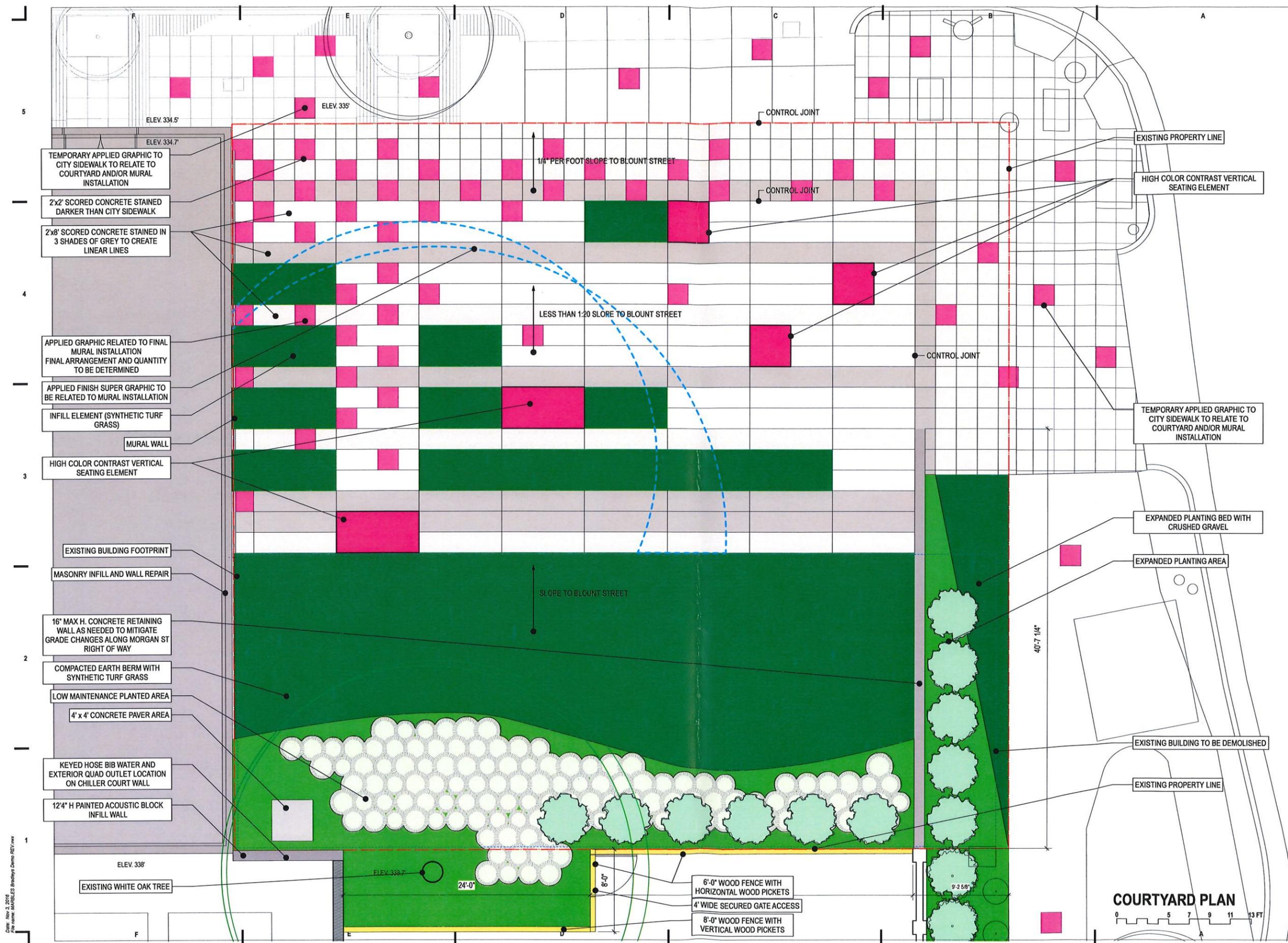
NO.	REVISION DATE

PROJECT NO.	Project Number
PROJECT NO.	AR
DRAWN:	SDS
CHECKED:	SDS
DATE:	20161107

URBAN COURTYARD
BASE

COA 102

Date: Nov 3, 2016
File name: MARBLES KidsMuseum Courtyr Base.rvt



TEMPORARY APPLIED GRAPHIC TO CITY SIDEWALK TO RELATE TO COURTYARD AND/OR MURAL INSTALLATION

2x2' SCORED CONCRETE STAINED DARKER THAN CITY SIDEWALK

2x8' SCORED CONCRETE STAINED IN 3 SHADES OF GREY TO CREATE LINEAR LINES

APPLIED GRAPHIC RELATED TO FINAL MURAL INSTALLATION FINAL ARRANGEMENT AND QUANTITY TO BE DETERMINED

APPLIED FINISH SUPER GRAPHIC TO BE RELATED TO MURAL INSTALLATION

INFILL ELEMENT (SYNTHETIC TURF GRASS)

MURAL WALL

HIGH COLOR CONTRAST VERTICAL SEATING ELEMENT

EXISTING BUILDING FOOTPRINT

MASONRY INFILL AND WALL REPAIR

16" MAX H. CONCRETE RETAINING WALL AS NEEDED TO MITIGATE GRADE CHANGES ALONG MORGAN ST RIGHT OF WAY

COMPACTED EARTH BERM WITH SYNTHETIC TURF GRASS

LOW MAINTENANCE PLANTED AREA

4' x 4' CONCRETE PAVER AREA

KEYED HOSE BIB WATER AND EXTERIOR QUAD OUTLET LOCATION ON CHILLER COURT WALL

12" H PAINTED ACOUSTIC BLOCK INFILL WALL

ELEV. 338'

EXISTING WHITE OAK TREE

6'-0" WOOD FENCE WITH HORIZONTAL WOOD PICKETS

4' WIDE SECURED GATE ACCESS

8'-0" WOOD FENCE WITH VERTICAL WOOD PICKETS

EXISTING PROPERTY LINE

HIGH COLOR CONTRAST VERTICAL SEATING ELEMENT

TEMPORARY APPLIED GRAPHIC TO CITY SIDEWALK TO RELATE TO COURTYARD AND/OR MURAL INSTALLATION

EXPANDED PLANTING BED WITH CRUSHED GRAVEL

EXPANDED PLANTING AREA

EXISTING BUILDING TO BE DEMOLISHED

EXISTING PROPERTY LINE

COA APP DWGS
2016/11/07

CORNER COURTYARD
MARBLES KIDS MUSEUM
101 South Blount Street

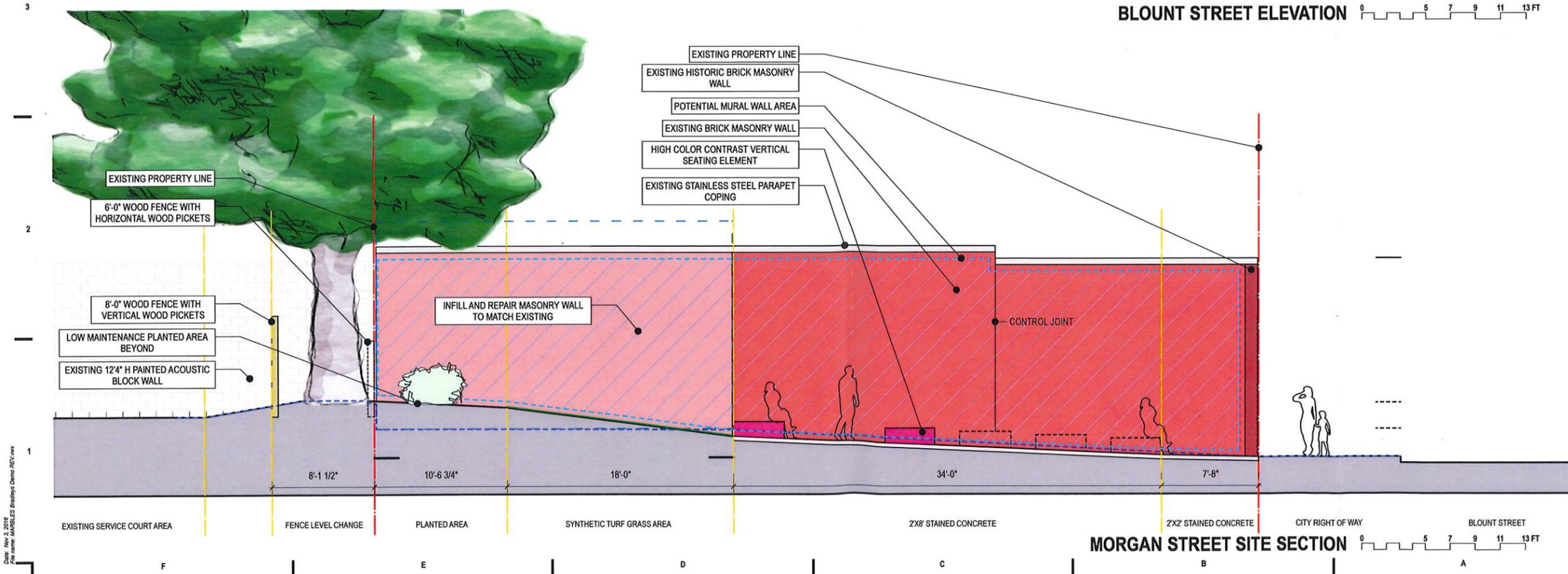
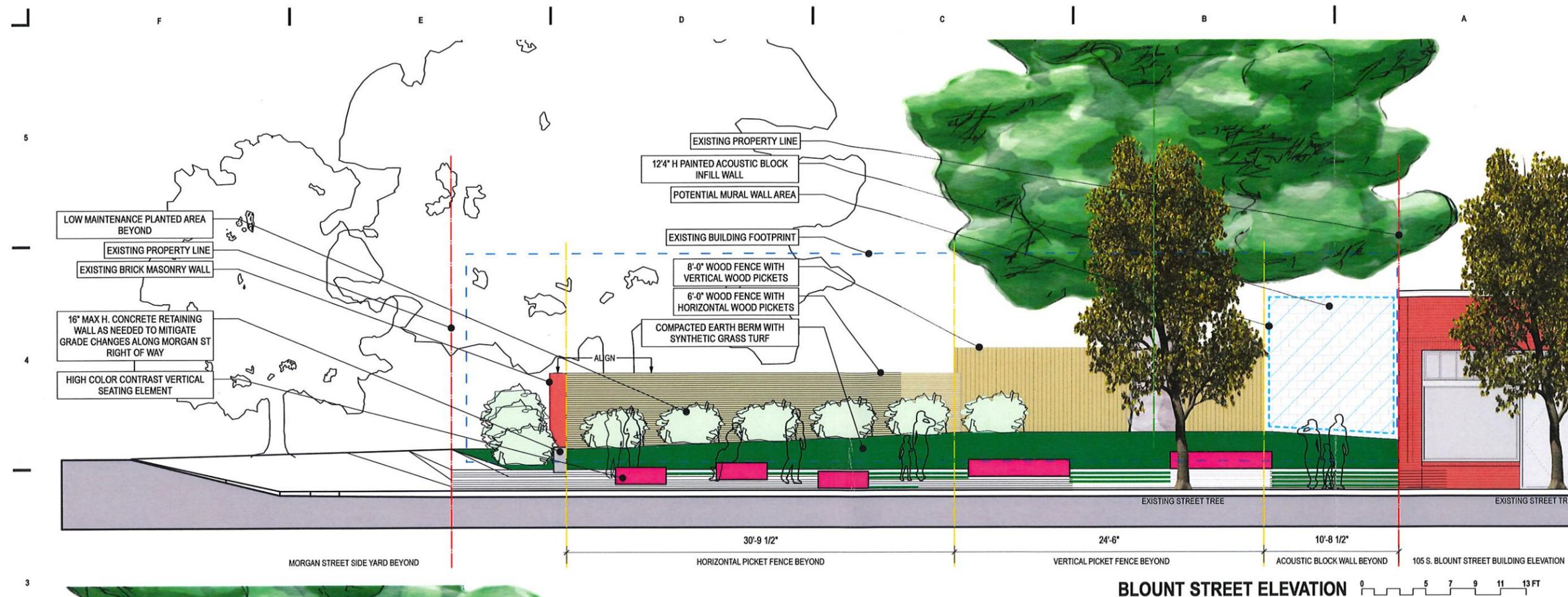
Raleigh, NC 27601

PROJECT NO. AR
DRAWN: AR
CHECKED: SDS
DATE: 20161107

URBAN COURTYARD
BASE

COA 103

Date: Nov. 3, 2016 File name: MARBLES KidsMuseum_Courtyard_REV.dwg



COA APP DWGS
2016/11/07

CORNER COURTYARD
MARBLES KIDS MUSEUM
101 South Blount Street

Raleigh, NC 27601

NO.	REVISION DATE

PROJECT NO: Project Number
DRAWN: AR
CHECKED: SDS
DATE: 20161107

URBAN COURTYARD
ELEVATIONS
SECTIONS

COA 104

Date: Nov 3, 2016
File name: MARBLES Buildings Demo REV1.rvt

COA PROJECT DESCRIPTION:

Part 1: Building Demolition- removal and site stabilization

Part 2: Fence/Screen-wall and Block Wall on adjacent property

Scope: a 6' wood fence with horizontal wood pickets to relate to scale and dimension of existing 6' masonry wall, an 8' wood fence with vertical wood pickets behind existing tree, and extending an existing painted 12'4"H acoustic block wall.

Finishes: clear finished exterior wood, Blount street elevation painted block wall

Part 3:

Interim Courtyard- new core courtyard and site elements

Scope: 2x2 scored concrete, 2x8 scored concrete, synthetic turf grass, planting area, low curb wall, seating/site elements

Finishes: Stained concrete (3 shades: natural, 15% warm gray, 35% warm gray), high contrast painted seating/site element, synthetic turf grass.

Part 4:

Mural/Art- installation method and location of future mural graphics

Scope: Paint applied to an existing and new masonry wall, as well as to the new horizontal surfaces in courtyard. Additional, temporary method for applied graphics/color to the 2x2 city sidewalk, related to future courtyard mural graphics.

Finishes: paint on brick installed in 1998 and mural paint on block wall, paint on horizontal surfaces inside courtyard, temporary applied graphic material in right of way.

FUTURE COA:

Part 1: Mural and Site Graphics

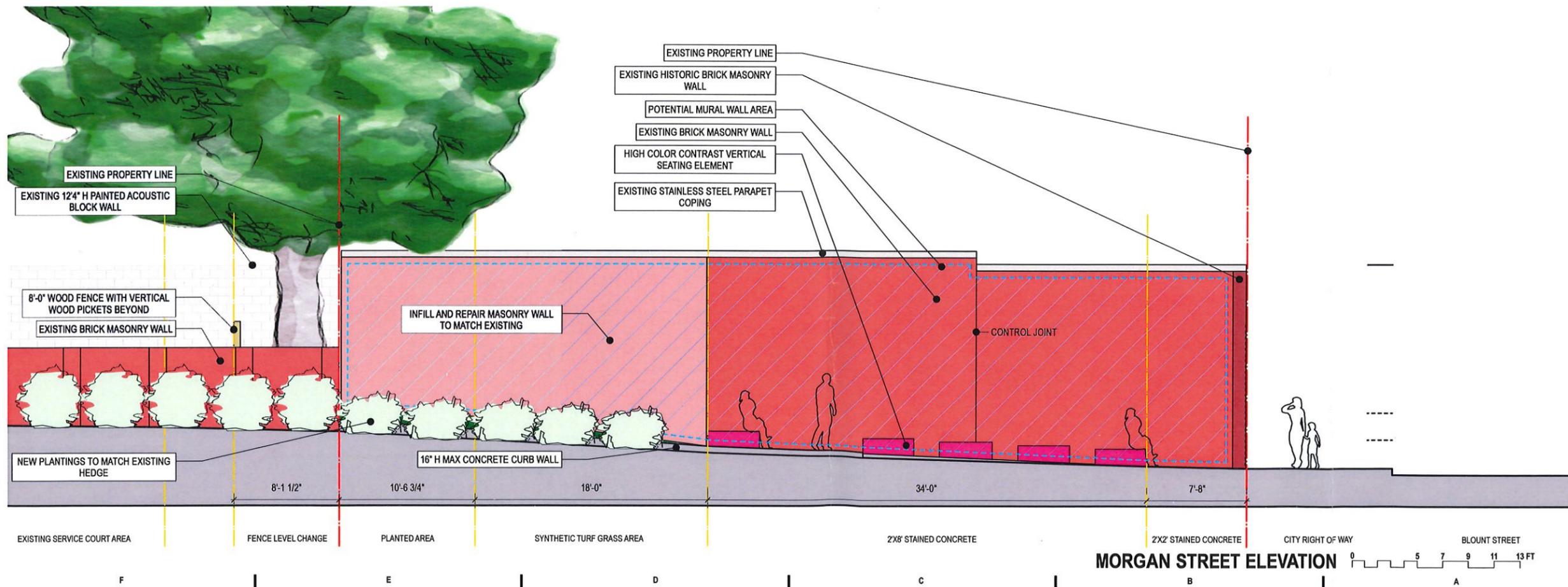
Scope: horizontal and vertical wall graphics

Finishes: mural paint on brick, mural paint on block wall, mural paint on horizontal surfaces inside courtyard, temporary applied graphic material in right of way.

MARBLES KIDS MUSEUM GROUND FLOOR CAMPUS PLAN - NOT TO SCALE (REFERENCE ONLY)



CLEARSCAPES
ARCHITECTURE + ART
311-200 W. Martin Street | Raleigh, NC 27601
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COA APP DWGS
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URBAN COURTYARD
ELEVATIONS
SECTIONS

COA 105