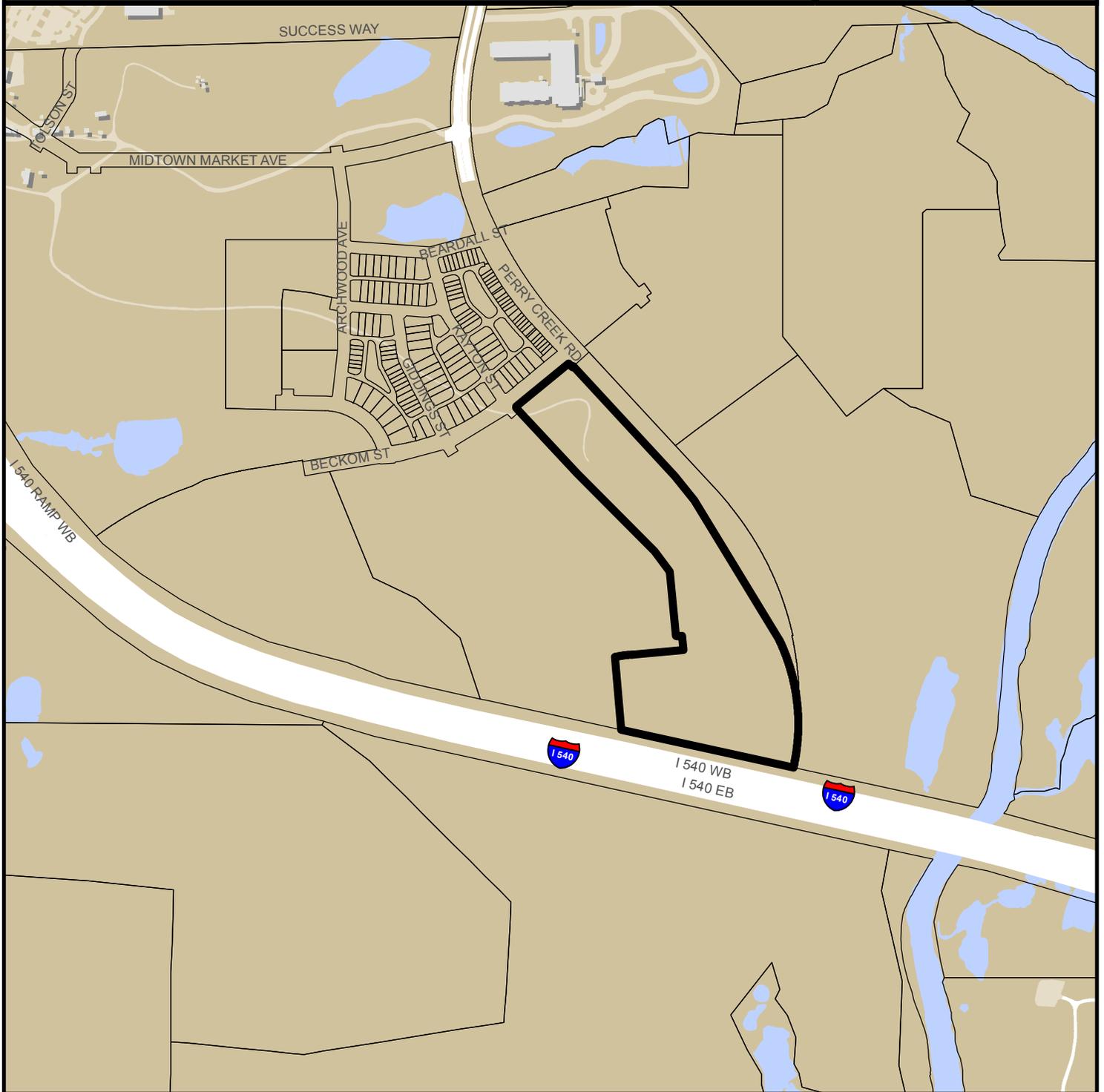


5401 NORTH AMENITY SR-104-2016



0 300 600 1,200 1,800 Feet

Zoning: **PD, SHOD-1**

CAC: **Forestville**

Drainage Basin: **Neuse**

Acreage: **1.2**

Number of Lots: **1**

Planner: **Martha Lobo**

Phone: **(919) 996-2664**

Applicant: **Fred Boone**

Phone: **919-361-5000**



939: Call For Payment
Administrative Site Review Application
 (for UDO Districts only) SR-10416



DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

TU98353

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number Assigned Project Coordinator Assigned Team Leader LOBB

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # SR-104-16

GENERAL INFORMATION

Development Name **5401 North - Amenity**

Zoning District Planned Development (PD) Overlay District (if applicable) **N/A** Inside City Limits? Yes No

Proposed Use **Commercial**

Property Address(es) **0 Beckom Drive St** Major Street Locator: SW Quad of Beckom and Perry Creek Road

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1736779440	P.I.N.	P.I.N.	P.I.N.
--------------------------	--------	--------	--------

What is your project type?

<input type="checkbox"/> Apartment	<input type="checkbox"/> Elderly Facilities	<input type="checkbox"/> Hospitals	<input type="checkbox"/> Hotels/Motels	<input type="checkbox"/> Office
<input type="checkbox"/> Mixed Residential	<input type="checkbox"/> Non-Residential Condo	<input type="checkbox"/> School	<input type="checkbox"/> Shopping Center	<input type="checkbox"/> Industrial Building
<input type="checkbox"/> Duplex	<input type="checkbox"/> Telecommunication Tower	<input type="checkbox"/> Religious Institutions	<input type="checkbox"/> Residential Condo	<input type="checkbox"/> Retail
<input checked="" type="checkbox"/> Other: If other, please describe: <u>Amenity Clubhouse with Pool and Recreation</u>				

WORK SCOPE

Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

Clubhouse, pool, and recreation infrastructure at the SW corner of Beckom Street and Perry Creek Road in 5401 North

DESIGN ADJUSTMENT OR ADMIN ALTERNATE

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

N/A

CLIENT/DEVELOPER/OWNER

Company EV-5401 North, LLC	Name (s) Ric Rojas
Address 7500 Pecue Lane Baton Rouge, LA 70809-5107	
Phone (919) 582-7176	Email rrojas@levelinc.com
Fax	

CONSULTANT (Contact Person for Plans)

Company McAdams Company	Name (s) Fred Boone
Address 2905 Meridian Parkway, Durham, NC 27713	
Phone (919) 361-5000	Email boone@mcadamsc.com
Fax (919) 361-2269	

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) Planned Development (PD)	Proposed building use(s) Clubhouse
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross N/A
Overlay District N/A	Proposed Building(s) sq. ft. gross 3,218
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 3,218
Off street parking: Required 38 Provided 58	Proposed height of building(s) 28 Ft
COA (Certificate of Appropriateness) case #	# of stories 1
BOA (Board of Adjustment) case # A- 20-10	Ceiling height of 1 st Floor Varies 9,10',12',& 18'
CUD (Conditional Use District) case # Z- 20-10	

Stormwater Information

Existing Impervious Surface 0 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 1.12 acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

FOR RESIDENTIAL DEVELOPMENTS

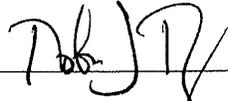
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate **Fred V. Boone/McAdams** to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed  Date **11/30/2014**

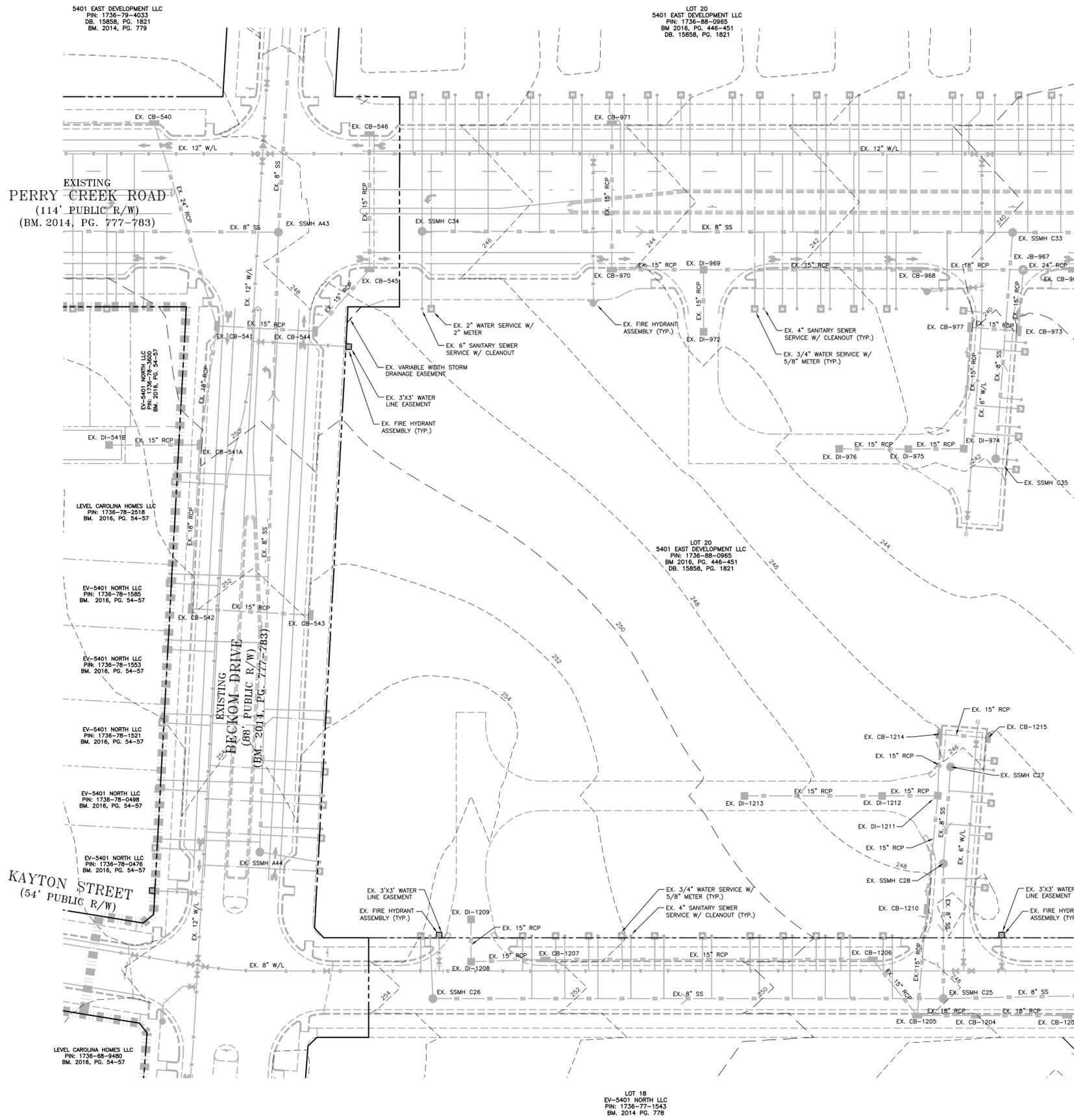
Printed Name **RIC S. ROSAS**

Signed _____ Date _____

Printed Name _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input checked="" type="checkbox"/>				
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>		✓		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>		✓		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>		✓		
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Attached memo.		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input checked="" type="checkbox"/>		✓	
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		✓	
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" =100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	<input checked="" type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
12. If applicable, zoning conditions adhered to the plan cover sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		

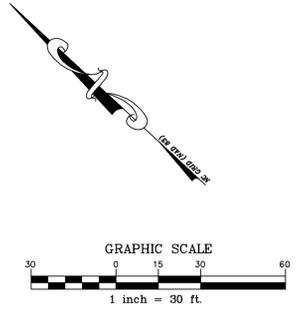
X:\Projects\CRC-16040\LandConstruction Drawings\Current Drawings\CRC16040-XCI.dwg - 12/16/2016 12:46:13 PM, Schmidt, Chris



LEGEND

●	SANITARY SEWER MANHOLE	⊗	IRRIGATION CONTROL VALVE
○	SANITARY SEWER CLEANOUT	⊙	WATER MANHOLE
⊕	WATER VALVE	⊞	SIGN
⊖	WATER METER	—SD—	STORM DRAIN PIPE
⊗	FIRE HYDRANT	—OU—	OVERHEAD UTILITY LINES
⊕	CURB INLET	—W—	WATER LINE
⊖	STORM DRAINAGE MANHOLE	—SS—	SANITARY SEWER LINE
⊗	DROP INLET	—T—	TELEPHONE LINE
⊕	TELEPHONE PEDESTAL	—G—	GAS LINE
⊖	TELEPHONE MANHOLE	—UE—	UNDERGROUND ELECTRIC
⊗	ELECTRIC BOX		

- GENERAL NOTES:**
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 - THERE MAY BE WETLANDS WITHIN THIS SITE. IT IS THE OWNER'S RESPONSIBILITY FOR WETLANDS JURISDICTION AND PERMIT DISTURBANCE PRIOR TO ANY GRADING ACTIVITY.
 - EXISTING CONDITIONS TAKEN FROM
 - THE 5401 NORTH MASTER INFRASTRUCTURE DRAWINGS (TRANSACTION #363792)
 - 5401 NORTH LOTS 15-17 (PHASES 4,7,11 & 12) CONCURRENT PLANS (TRANSACTION #416248)
 - 5401 NORTH LOT 20 (PHASES 13 - 17) CONCURRENT PLANS (TRANSACTION #432497)
 [PROJECTS ARE UNDER CONSTRUCTION & FINAL LOCATIONS MAY VARY. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IN THE FIELD]



THE JOHN R. MCADAMS COMPANY, INC.
 2905 Meridian Parkway
 Durham, North Carolina 27713
 Phone: 919-487-1000
 Fax: 919-487-1001
 Email: info@mcadamsco.com
 (800) 733-5646 • mcadamsco.com



REVISIONS:

NO.	DATE	DESCRIPTION

OWNER:
 ELD-5401 NORTH, LLC
 C/O ENGQUIST-LEVEL
 DEVELOPMENT, LLC
 7500 PECUE LANE
 BATON ROUGE, LOUISIANA 70809
 (225) 838-6120

**5401 NORTH AMENITY
 ADMINISTRATIVE SITE REVIEW**
 RALEIGH, NORTH CAROLINA
 EXISTING CONDITIONS PLAN

PROJECT NO.	CRC-16040
FILENAME	CRC16040-XCI
CHECKED BY:	
DRAWN BY:	
SCALE:	1" = 30'
DATE:	11-23-2016
SHEET NO.	C-1



5401 EAST DEVELOPMENT LLC
 PIN: 1736-79-4033
 DB: 15858, PG. 1821
 BM: 2014, PG. 778

LOT 20
 5401 EAST DEVELOPMENT LLC
 PIN: 1736-88-0965
 BM: 2016, PG. 446-451
 DB: 15858, PG. 1821

TRANSACTION #482197
 (LOT 20 FINAL PLAT IN REVIEW)

TRANSACTION #432497
 (APPROVED CONCURRENT PLANS)

TRANSACTION #432497
 (APPROVED CONCURRENT PLANS)

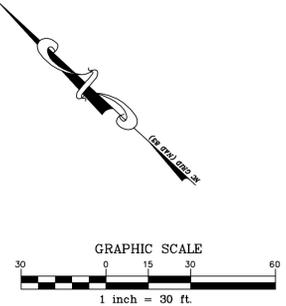
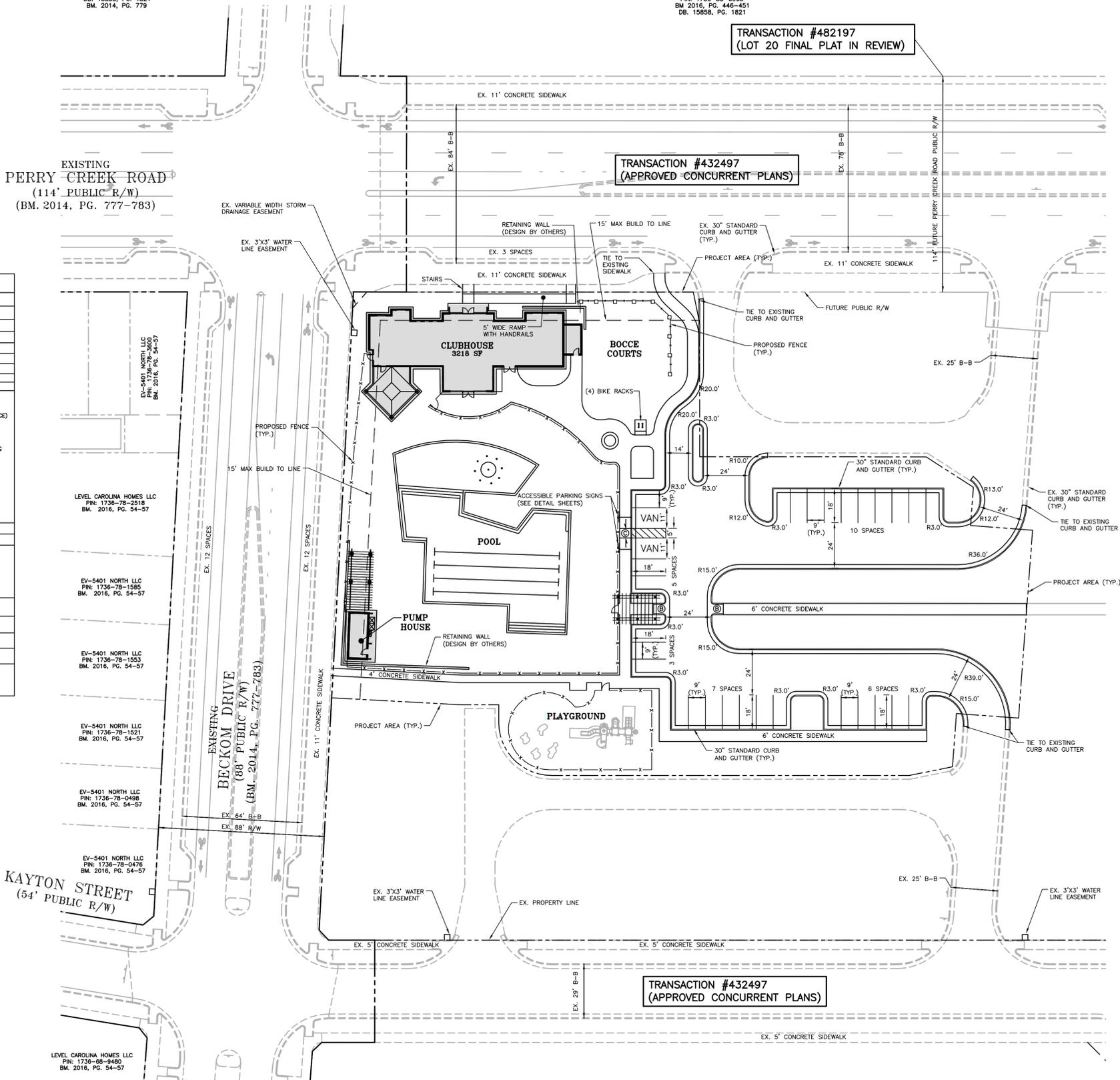
SITE LEGEND

- SIGNAGE
- TRAFFIC DIRECTIONAL ARROW
- ACC VAN
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- ▽ ACCESSIBLE RAMPS
- TYPE ① TYPE ② TYPE ③
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- ▨ ASPHALT PAVEMENT

GENERAL SITE NOTES:

1. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXERCISING REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS IN USE. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE ILLUSTRATED DESIGN.
3. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE OWNER OR PROJECT ENGINEER.
4. CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND THE PROJECT ENGINEER FOR DAMAGES, INJURIES OR OTHER ACCIDENTS WHICH OCCUR DURING THESE CONSTRUCTION ACTIVITIES.
5. ALL ELEVATIONS ARE IN REFERENCE TO DESIGNATED BENCHMARKS.
6. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT HIS EXPENSE.
7. UTILIZE SIGNS, BARRICADES, FLAGMEN, OR GUARDS AS REQUIRED TO ENSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC DURING ALL CONSTRUCTION ACTIVITIES.
8. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ADJACENT PROPERTY OWNERS AS REQUIRED FOR WORK OUTSIDE OF PROPERTY LINES.
9. UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION OR TRENCH BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS. UTILIZE SIGNS, BARRICADES, ETC. TO ENSURE THE SAFETY OF THE GENERAL PUBLIC.
10. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
11. ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
12. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
13. ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. THAT ARE TO REMAIN SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
14. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION AND ALL REQUIRED NOTIFICATIONS TO DISCONNECT ANY UTILITIES AND SERVICES (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
15. PRIOR TO STARTING DEMOLITION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH CITY OF RALEIGH PUBLIC WORKS, TO OWNER (OR REPRESENTATIVE), THE SITE CONTRACTOR AND THE ENGINEER.

PHYSICAL ADDRESS:	0 BECKOM DRIVE RALEIGH, NORTH CAROLINA
OWNER:	5401 EAST DEVELOPMENT LLC
DEVELOPER/APPLICANT:	JPM SOUTH DEVELOPMENT, LLC
PIN:	1736-88-0965
REAL ESTATE ID:	418029
ZONING:	T-5
WATERSHED:	NEUSE RIVER
PROJECT AREA:	1.64 AC.
AREA IN FLOODWAY/FLOODPLAIN:	NONE
BUILDING SQUARE FOOTAGE:	3,218 SF
PARKING SUMMARY	
REQUIRED PARKING:	7 SPACES (1 PER 500 SF OF INDOOR SPACE)
POOL & RECREATION	30 SPACES (1 PER 1000 SF OF OUTDOOR SPACE)
TOTAL (MIN.)	37 SPACES
REQUIRED PARKING:	37 SPACES
PROVIDED PARKING:	58 SPACES (INCLUDES ON-STREET PARKING PER 5401 NORTH DEVELOPMENT STANDARDS)
ACCESSIBLE PARKING:	REQUIRED - 2 SPACES PROPOSED - 2 SPACES (VAN ACCESSIBLE)
BICYCLE PARKING:	REQUIRED - 1 RACK PROPOSED - 4 RACK
PROPOSED IMPERVIOUS:	1.12 AC. (68.3% OF PROJECT AREA)
5401 NORTH PLANNED DEVELOPMENT STANDARDS (TRANSECT ZONE T5):	
BUILDING SETBACKS TO PUBLIC STREETS	
PRIMARY (PERRY CREEK ROAD):	0' (MIN)
SIDE (BECKOM DRIVE):	0' (MIN)
REAR:	0' (MIN)
AGGREGATE:	0' (MIN)
FRONT MAXIMUM:	15' (MAX)
ACCESSORY/GARAGE:	5' (MIN)
MAX. BUILDING HEIGHT:	115'
HEIGHT PROVIDED:	28'
MIN. LOT AREA:	2,000 SF
AREA PROVIDED:	71,560 SF
MIN. LOT WIDTH:	175'
WIDTH PROVIDED:	20'
MIN. SIDEWALK WIDTH:	12'
WIDTH PROVIDED:	12'
OPEN SPACE (OVERALL DEVELOPMENT):	60.38 AC (15% OF DEVELOPMENT AREA)
REQUIRED OPEN SPACE:	
PROVIDED OPEN SPACE:	X.XX AC



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS
 COMPANY, INC.
 2905 Meridian Parkway
 Durham, North Carolina 27713
 Phone: 919-487-0288
 Fax: 919-487-0288
 (800) 733-5646 • mcadamsco.com



REVISIONS:

OWNER:
 ELD-5401 NORTH, LLC
 C/O ENGQUIST-LEVEL
 DEVELOPMENT, LLC
 7500 PECCE LAKE
 BATON ROUGE, LOUISIANA 70809
 (225) 838-6120

5401 NORTH AMENITY
 ADMINISTRATIVE SITE REVIEW
 RALEIGH, NORTH CAROLINA

PROJECT NO:	CRC-16040
FILENAME:	CRC16040-S1
CHECKED BY:	FVB
DRAWN BY:	CNS/NDW
SCALE:	1" = 30'
DATE:	11-23-2016
SHEET NO.	C-3



X:\Projects\CRC-16040\LandConstruction Drawings\CRC16040-S1.dwg, 12/16/2016 12:48:29 PM, Schmidt, Chris

5401 EAST DEVELOPMENT LLC
 PIN: 1736-79-4033
 DB: 15858, PG. 1821
 BM: 2014, PG. 779

LOT 20
 5401 EAST DEVELOPMENT LLC
 PIN: 1736-88-0965
 BM: 2016, PG. 446-451
 DB: 15858, PG. 1821

TRANSACTION #482197
 (LOT 20 FINAL PLAT IN REVIEW)

TRANSACTION #432497
 (APPROVED CONCURRENT PLANS)

TRANSACTION #432497
 (APPROVED CONCURRENT PLANS)

EXISTING
 PERRY CREEK ROAD
 (114' PUBLIC R/W)
 (BM. 2014, PG. 777-783)

KAYTON STREET
 (54' PUBLIC R/W)

LEVEL CAROLINA HOMES LLC
 PIN: 1736-78-2518
 BM: 2016, PG. 54-57

EV-5401 NORTH LLC
 PIN: 1736-78-1585
 BM: 2016, PG. 54-57

EV-5401 NORTH LLC
 PIN: 1736-78-1553
 BM: 2016, PG. 54-57

EV-5401 NORTH LLC
 PIN: 1736-78-1521
 BM: 2016, PG. 54-57

EV-5401 NORTH LLC
 PIN: 1736-78-0498
 BM: 2016, PG. 54-57

EV-5401 NORTH LLC
 PIN: 1736-78-0476
 BM: 2016, PG. 54-57

LEVEL CAROLINA HOMES LLC
 PIN: 1736-88-9480
 BM: 2016, PG. 54-57

LOT 18
 EV-5401 NORTH LLC
 PIN: 1736-77-1543
 BM: 2014, PG. 778

UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- WATERLINE
- WATER SERVICE LINE
- SANITARY SEWER
- SEWER SERVICE LINE
- EASEMENT LINE

CITY OF RALEIGH PUBLIC UTILITIES
 STANDARD UTILITY NOTES (AS APPLICABLE)

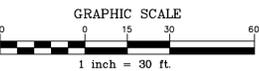
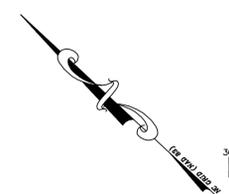
1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. THIS SEPARATION SHALL BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOC PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 250-7825 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\CRC-16040\LandConstruction-Drawing\Current-Drawing\CRC16040-U.dwg, 12/16/2016, 12:47:55 PM, Schmidt, Chris

THE JOHN R. MCADAMS
 COMPANY, INC.
 2905 Meridian Parkway
 Durham, North Carolina 27713
 Phone: 919-487-1100
 Fax: 919-487-1101
 www.mcadamsco.com
 (800) 733-5646



REVISIONS:

NO.	DATE	DESCRIPTION

OWNER:
 ELD-5401 NORTH, LLC
 C/O ENGQUIST-LEVEL
 DEVELOPMENT, LLC
 7500 PECUE LANE
 BATON ROUGE, LOUISIANA 70809
 (225) 838-6120

5401 NORTH AMENITY
 ADMINISTRATIVE SITE REVIEW
 RALEIGH, NORTH CAROLINA

PROJECT NO:	CRC-16040
FILENAME:	CRC16040-U1
CHECKED BY:	FVB
DRAWN BY:	CNS/NDW
SCALE:	1" = 30'
DATE:	11-23-2016
SHEET NO.	C-5

McAdams