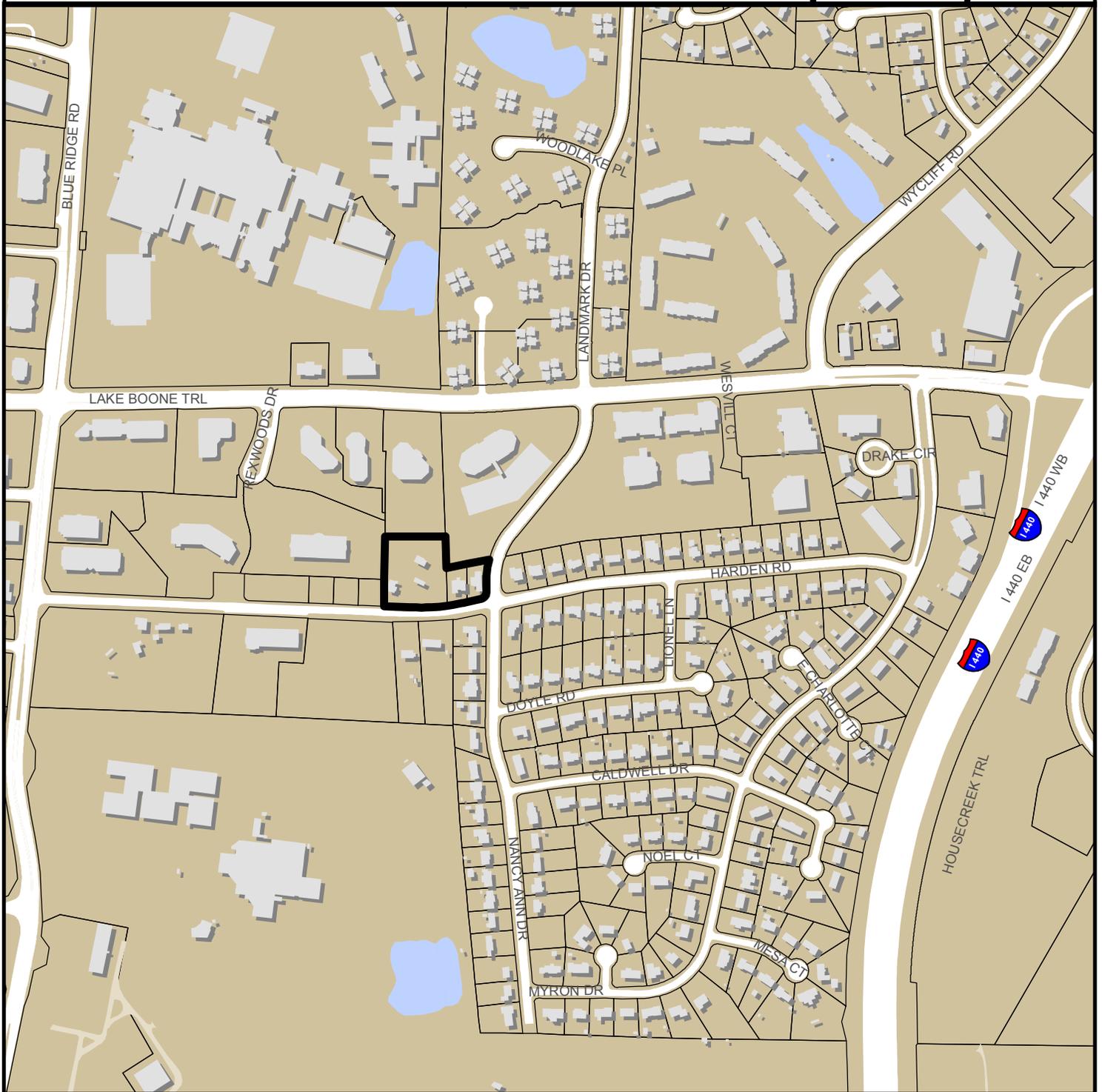


CITY OF RALEIGH FIRE STATION #14

SR-105-2016



0 300 600 1,200 Feet

Zoning: **OX-3-UG-CU, R-4**
CAC: **Northwest**

Drainage Basin: **House**
Acreage: **1.95**
Sq. Ft.: **18,127**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**

Applicant: **Zak Pierce**
Phone: **(919) 319-6716**



Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

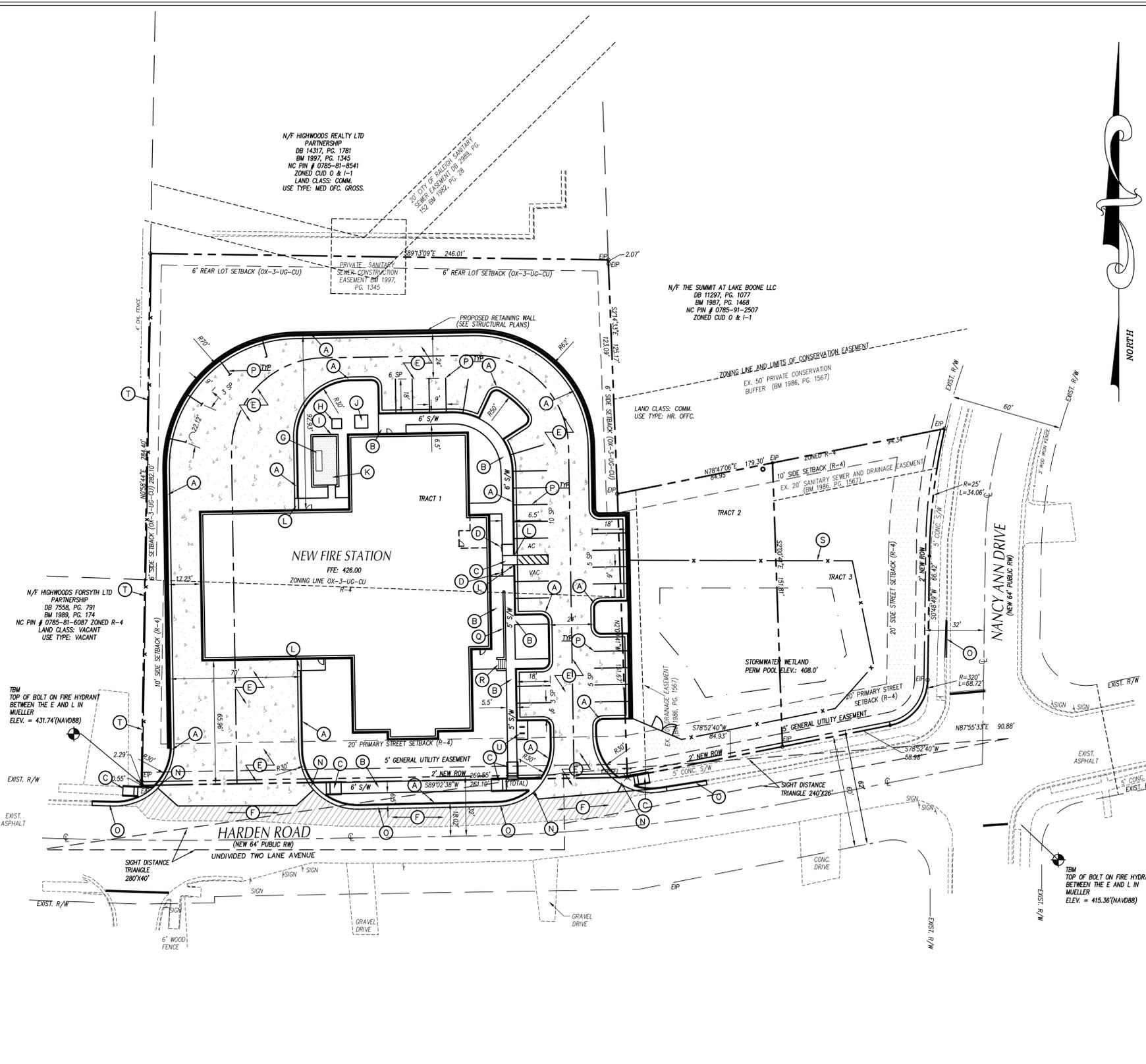
Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ofax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

SR-105-16

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 498505 Assigned Project Coordinator Assigned Team Leader
Has your project previously been through the Due Dillgence or Sketch Plan Review process? If yes, provide the transaction # <i>n/a</i>		
GENERAL INFORMATION		
Development Name City of Raleigh Fire Station #14		
Zoning District R-4, OX-3-UG-CU	Overlay District (if applicable) n/a	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use Fire Station		
Property Address(es) 3510, 3504, 3500 Harden Road, Raleigh, NC 27607		Major Street Locator: n/a
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 0785818157	P.I.N. 0785910049	P.I.N. 0785911122
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex <input checked="" type="checkbox"/> Other: If other, please describe: <u>Fire Station</u>		
<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input type="checkbox"/> Religious Institutions		
<input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo		
<input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Banks <input type="checkbox"/> Retail		
<input type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Cottage Court		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Construction of a new 18,127 sf fire station building and associated site improvements included, but not limited to parking, sidewalks, driveways, temporary erosion control devices, stormwater detention devices, utility connections, and landscaping.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE TBD	
CLIENT/DEVELOPER/OWNER	Company City of Raleigh	Name (s) Kelly Ham
	Address P.O. Box 590 Raleigh, NC 27602	
	Phone 919.996.5587	Email kelly.ham@raleighnc.gov
CONSULTANT (Contact Person for Plans)	Company CLH Design, p.a.	Name (s) Zak Pierce
	Address 400 Regency Forest Drive, Suite 120, Cary, NC 27518	
	Phone 919.319.6716	Email zpierce@clhdesignpa.com
		Fax 919.319.7516

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF					
	General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input checked="" type="checkbox"/>					
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>			X		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>			X		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>			X		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>			X		
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>			X		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>			X		
c) Proposed Site Plan	<input checked="" type="checkbox"/>			X		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>			X		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>		X		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>		X		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input checked="" type="checkbox"/>		X		
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		X		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>		X		
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X	
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals – include all revision dates	<input checked="" type="checkbox"/>			X		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>			X		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>			X		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>			X		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>			X		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X	
12. If applicable, zoning conditions adhered to the plan cover sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>		X		



KEY NOTES

- (A) 24" CURB & GUTTER, SEE DETAIL SHEET.
- (B) CONCRETE SIDEWALK, SEE DETAIL SHEET.
- (C) ACCESSIBLE CURB RAMP, SEE DETAIL SHEET.
- (D) ACCESSIBLE PARKING & SIGNAGE, SEE DETAIL SHEET.
- (E) CONCRETE PAVEMENT, SEE DETAIL SHEET.
- (F) HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET.
- (G) HVAC UNIT, SEE MEP DRAWINGS.
- (H) COMMUNICATIONS TOWER, SEE MEP PLANS FOR MORE INFORMATION.
- (I) SEE ARCHITECTURAL PLANS FOR CANOPY, STEPS, RAMPS, HANDRAILS, GUARDRAILS, SCREEN WALLS, AND BOLLARDS.
- (J) GENERATOR PAD BY MECHANICAL CONTRACTOR.
- (K) GRAVEL, SEE PAVEMENT SECTION DETAIL.
- (L) STANDARD METHOD OF ENDING CURB & GUTTER, SEE DETAIL SHEET.
- (M) STANDARD CROSSWALK.
- (N) TRANSITION FROM 24" C&G TO 30" C&G OVER 10' DISTANCE.
- (O) 30" CURB & GUTTER, SEE DETAIL SHEET.
- (P) PARKING SPACE MARKING.
- (Q) RETAINING WALL, SEE STRUCTURAL PLANS.
- (R) CONCRETE STEPS AND HANDRAILS, SEE DETAIL SHEET.
- (S) ORNAMENTAL FENCE, SEE DETAIL SHEET C7.13.
- (T) 6.5' WOODEN PRIVACY FENCE, SEE DETAIL SHEET C7.13.
- (U) BIKE RACKS, SEE DETAIL SHEET.

GENERAL NOTES

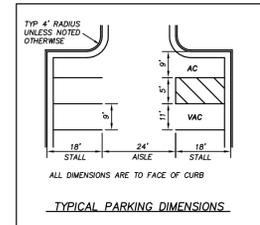
1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE INDICATED.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
3. CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST MANUAL OF "UNIFORM TRAFFIC CONTROL DEVICES".
5. ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6. CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
7. ALL FACE OF CURB RADII ARE 4 FT UNLESS OTHERWISE SHOWN.
8. ALL STANDARD PARKING SPACES SHALL BE 9' WIDE X 18' DEEP MIN.
9. VAC - VAN ACCESSIBLE PARKING SPACE SHALL BE 11' WIDE X 18' DEEP AC - ACCESSIBLE PARKING SPACE SHALL BE 9' WIDE X 18' DEEP
10. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARD SPECIFICATIONS.
11. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.
12. MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION STREETS SHALL AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.

TRAFFIC CONTROL NOTES

1. ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
2. ALL SIGNS SHALL BE MOUNTED WITH 5'-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2-1/2" GALV. STEEL U-CHANNEL POST SET IN 3'-FT DEEP X 12"-IN DIA. CONCRETE FOOTING.
3. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.

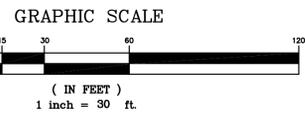
MARKING	NGDOT STD.	SIZE	COLOR
PARKING SPACES	1205.07(STANDARD)	4"-IN	WHT.
CROSSWALK		6"-IN	WHT.
NO PARKING - FIRE LANE		4"-IN	YEL.
SOLID	1205.01	4"-IN	WHT.

* NO PARKING - FIRE LANE MARKING SHALL CONSIST OF A 4" SOLID YELLOW STRIPE AND 12" HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS. BASE BID TO INCLUDE 1,000 LF IN ADDITIONAL LOCATIONS TO BE DETERMINED BY ARCHITECT/FIRE MARSHAL. SEE DETAIL SHEET.
4. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE EXCEPT FOR PARKING SPACES WHICH MAY BE ALKO-RESIN TYPE PAINT.
5. ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY CLH DESIGN PRIOR TO SIGN INSTALLATION.
7. COORDINATE FIRE LANE MARKINGS WITH CITY OF RALEIGH FIRE MARSHAL.



SITE DATA

PROJECT:	CITY OF RALEIGH, FIRE STATION NO. 14
OWNER:	CITY OF RALEIGH
OWNER CONTACT:	KELLY HAM PO BOX 590 RALEIGH, NC 27602 OFFICE: 919-996-5587 FAX: 919-996-7476
DESIGNER:	CLH DESIGN, PA
DESIGNER CONTACT:	ZAK PIERCE 400 REGENCY FOREST DRIVE, SUITE 120 CARY, NC 27518 PHONE: 919-319-6716 FAX: 919-319-7516
PROJECT ADDRESS:	3510 HARDEN ROAD RALEIGH, NC 27607
PLANNING JURISD:	CITY OF RALEIGH
PIN:	0785818157, 0785910049, 0785911122
ZONING:	OX-3-UG-CU, R-4
WATERSHED:	NEUSE RIVER
STREAM BUFFERS:	NONE
OUTDOOR AMENITY:	10% (OX-3-GR-CU)
REQUIRED:	4,447 SF
PROVIDED:	5,203 SF
EXISTING USE:	RESIDENTIAL CIVIC (FIRE STATION)
PROPOSED USE:	18,136 SF
EXISTING GFA:	8,209 SF
PROPOSED GFA:	12,579 SF (WITH BAYS)
PROPOSED GFA:	12,579 SF (WITHOUT BAYS)
MAX. BLDG HEIGHT:	33'-8"
PARKING DATA STANDARD:	1 SP./400 SF GFA
SPACES REQ'D:	32
SPACES PROVIDED:	33
HDCP REQ'D:	1 SPACE
HDCP PROVIDED:	2 SPACES
BIKE STANDARD:	1/5000 SF GFA (MIN 4)
SPACES REQ'D:	3 (BELOW MIN)
SPACES PROVIDED:	4
PUBLIC IMPROVEMENT QUANTITIES:	
PUBLIC SIDEWALK:	266 LF
PUBLIC STREET:	154 LF
PUBLIC R.O.W.:	808 SF
PERMITTING JURISDICTIONS:	
ZONING:	CITY OF RALEIGH
DRIVEWAY:	NCDOT & RALEIGH
WATER/SEWER:	CITY OF RALEIGH
EROSION CONTROL:	NCDENR



NOTE

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER OF WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.

CLH DESIGN, PA
 Regency Park
 400 Regency Forest Drive
 Suite 120
 Cary, North Carolina 27518
 Phone: (919) 319-6716
 Fax: (919) 319-7516
 LA: C-106, PB: C-1095

Project No. 1511
 CLH Project No. 15-178
Date 12/16/2016
Drawn ZRP
Checked KAL
Revisions

PRELIMINARY NOT FOR CONSTRUCTION

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719 East Second Avenue
 Gastonia, NC 28054
 Phone: 704.865.6311
 Fax: 704.865.0046

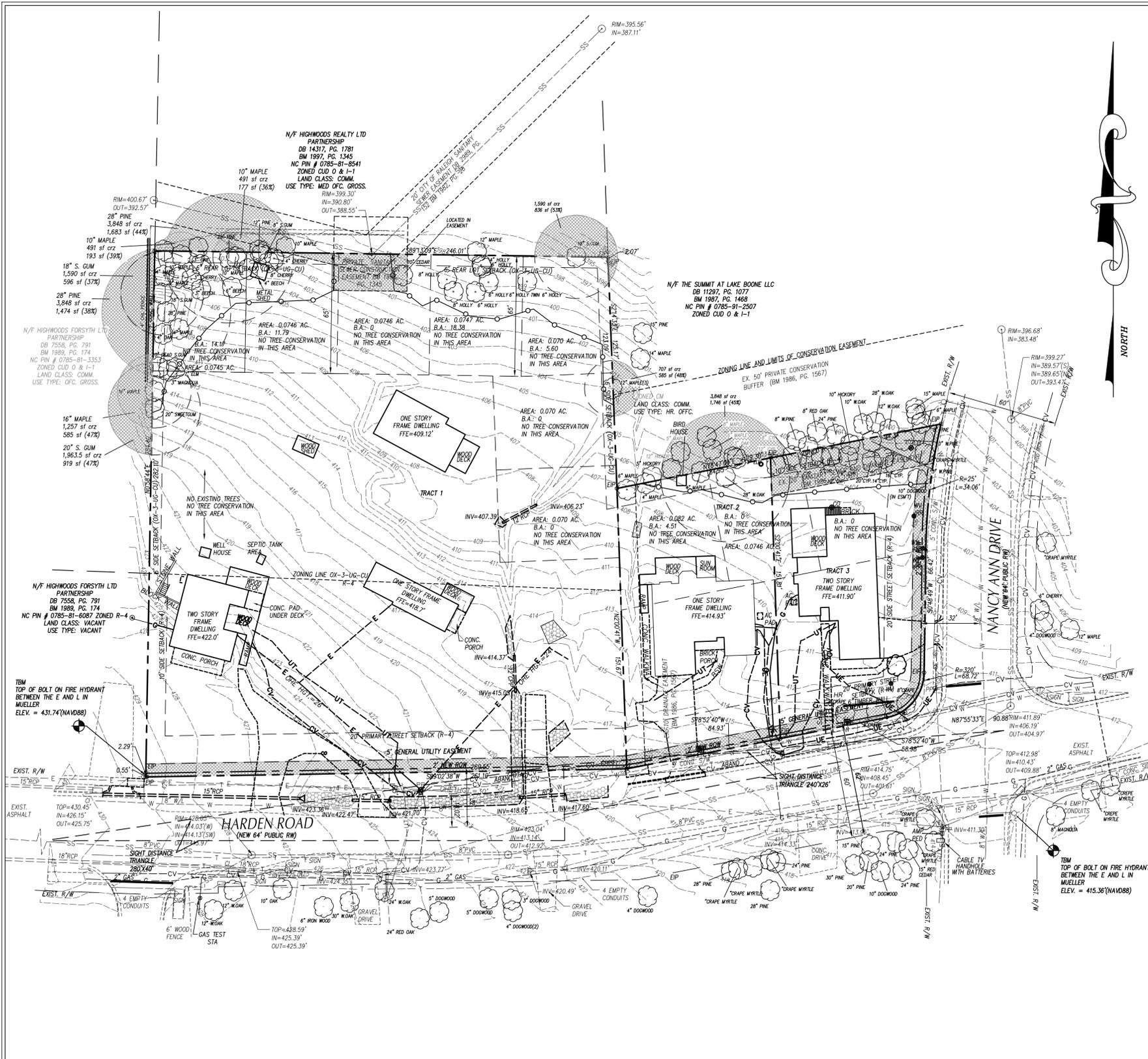
2016 Sumner St., Suite 202
 Charlotte, NC 28202
 Phone: 803.765.8011
 Fax: 803.765.2011

Stewart-Cooper-Newell Architects
 www.scn-architects.com

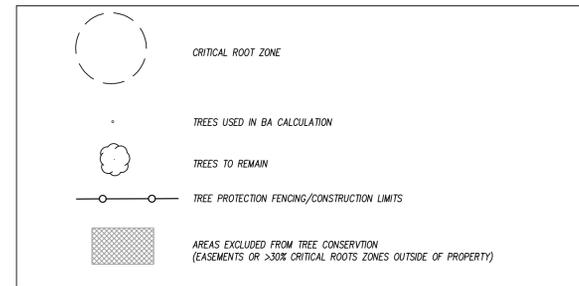
1.800.671.0621

A NEW BUILDING FOR THE CITY OF RALEIGH FIRE STATION #14
 3510 HARDEN ROAD, RALEIGH, NORTH CAROLINA 27607
SITE STAKING PLAN

sheet C1.1



TREE CONSERVATION LEGEND

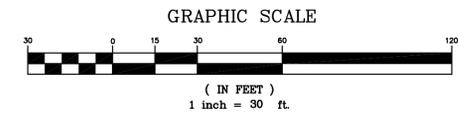


Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
(Include applicable information on the plan sheet)

Project Name: City of Raleigh Fire Station #14

Gross Site Acres:	2.22	ac
Right-of-way to be dedicated with this project:	0.03	ac
Net Site Acres:	2.19	ac

	Number of Areas	Percent of Total
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	0	0%
2. Primary Tree Conservation Area - SHOD 2	0	0%
3. Primary Tree Conservation Area - Railway Frontage	0	0%
4. Primary Tree Conservation Area - CM	0	0%
5. Primary Tree Conservation Area - MPOD	0	0%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0	0%
7. Primary Tree Conservation Area - 45% Slopes	0	0%
8. Primary Tree Conservation Area - Throughfare	0	0%
Subtotal of Primary Tree Conservation Areas:	0	0%
UDO 9.1.4.B.2 Tree Conservation Area - Greenway	0	0%
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (Includes perimeter buffers and their alternate compliance areas)	0	0%
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (Includes individual trees and their alternate compliance areas)	0	0%
Subtotal of Secondary Tree Conservation Areas:	0	0%
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	0	0%
UDO 9.1.8 Watershed Protection Overlay Districts		
UWPOD - Wooded Area (reserved)	0	0%
UWPOD - Wooded Area (planted)	0	0%
FWPOD - Wooded Area (reserved)	0	0%
FWPOD - Wooded Area (planted)	0	0%
SWPOD - Wooded Area (reserved)	0	0%
SWPOD - Wooded Area (planted)	0	0%



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Project No.
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Date
12/16/2016

Drawn
ZRP

Checked
KAL

Revisions

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Stewart-Cooper-Newell Architects

www.scn-architects.com

1.800.671.0621

A NEW BUILDING FOR
THE CITY OF RALEIGH
FIRE STATION #14
3510 HARDEN ROAD, RALEIGH, NORTH CAROLINA 27607

TREE CONSERVATION

sheet
C2.2

SCHEMATIC DESIGN SET